



## New Construction Final Handover Report

4 Smith Street  
Smithtown NSW/ACT

**PROPERTY & ASSESSMENT DETAILS****DETAILS OF THE ASSESSMENT****Client:**

Mr Sample

**Address of Property Assessed:**

4 Smith Street, Smithtown

**ASSESSOR DETAILS****Contact Phone:**

0428 711 706.

**Technician Name:**

Bruce Cohen

**Accreditation Number:**

3528.

**ASSESSMENT DATE**

11/01/2016.

**TIME OF ASSESSMENT**

1 PM.

**REPORT PREPARED DATE**

12/01/2016.

**PURPOSE OF ASSESSMENT**

The purpose of the assessment is to provide detail on the quality and adequacy of the completed structure and finishes for a newly constructed building or addition to a building.

**SCOPE OF ASSESSMENT**

The assessment and report provided is on an exceptions basis as set out in AS4349.1-2007 section 4, clause 4.1. Non-defective items and areas or items and areas performing to the correct standard will not necessarily be reported on.

The assessment comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of the assessment.

The assessment & report in accordance with AS4349.1-2007 is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law. It does not include the identification of unauthorised building work or of work not compliant with building regulations. The standard assumes that the existing use of the building will continue.

An estimate of the cost of rectification of defects is outside the scope of the assessment and therefore does not form part of this report.

The assessment included the building and the property within 30 metres of the building subject to inspection.

## INSPECTION AGREEMENT

### AGREEMENT NO:

15730.

### DATE OF AGREEMENT:

N/A.

## ACCEPTANCE CRITERIA

The building has been compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

## WEATHER & ORIENTATION

### Weather Conditions:

Dry.

### Orientation:

For the purpose of identification East is assumed to be approximately at the main street frontage of the property.

## PROPERTY DETAILS

### Building Type:

Villa Unit.

### No of Storeys:

2 Storey.

### Flooring:

Concrete Slab on Ground & Timber.

### Piers Type:

Nil.

### Internal Walls:

Timber with Plasterboard.

### External Walls:

Polystyrene Cladding, Rendered Brick Veneer and Timber.

**Roofing:**

Colorbond.

**Roof Type:**

Trussed.

**Garages:**

Double Attached.

**Carports:**

Nil.

**Decks:**

Nil.

**Pergolas:**

Nil.

**Outbuildings:**

Nil.

**Fences:**

Brick.

**THE AREAS ASSESSED**

**Details:**

Interior, Exterior, Roof Voids, Garages, Roof Exterior, Fences, and Grounds.

**HIGH RISK AREAS/S TO WHICH ACCESS SHOULD BE GAINED OR FULLY GAINED, SINCE THEY MAY SHOW EVIDENCE OF MAJOR FLAWS, TIMBER PESTS OR TIMBER DAMAGE**

**Details:**

Nil.

**EXPLANATORY NOTES**

**Definitions/Terminology:**

**Accessible Area:**

An area on the site where sufficient, safe and reasonable access is available to allow assessment within the scope of the assessment.

**Inaccessible Area:**

An area on the site where sufficient, safe and reasonable access is **not** available to allow assessment within the scope of the assessment.

**Major/Significant Flaw:**

A flaw of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

**Minor Flaw:**

Minor flaws are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to material and finishes, such as de-silvering of mirrors. It is expected that flaws of this type would be rectified as part of normal ongoing property maintenance.

**Safety Concern:**

Any observed item that may constitute a present or imminent serious safety concern.

**Further Investigation Required:**

A matter identified requiring further investigation by an appropriately qualified expert.

**Site:**

Allotment of land on which a building stands or is to be erected.

**Operational:**

Items are in working order and able to be used at the time of the assessment.

**Not Operational:**

Items are NOT in working order and were unable to be used at the time of the assessment.

**Explanation of codes used within the report**

**Relevant Specialist Description:**

Relevant Specialist - the relevant expert who may be able to provide assistance in relation to repair or replacement of a particular item or area.

## BUILDING REPORT SUMMARY

### PURPOSE OF REPORT

The purpose of this report is to provide advice regarding the condition of the property at the time at the assessment. This assessment comprised a visual assessment of the property to identify major flaws and to form an opinion regarding the condition of the property at the time of the assessment.

The Definitions (High), (Typical) and (Low) noted in the summary below relate to the assessors opinion of the overall condition of the building:

**Low:**

The frequency and/or magnitude of flaws are lower than the assessors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

**Typical:**

The frequency and/or magnitude of flaws are consistent with the assessors expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

**High:**

The frequency and/or magnitude of flaws are beyond the assessors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

## PROPERTY CONDITION

### Details:

When compared with properties of a similar age this property is generally in:  
Fair Condition.

## MAJOR FLAWS

### Details:

The incidence of Major Flaws to this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:  
Typical.

## MAJOR FLAWS REQUIRING ACTION

### Details:

The Major Flaws requiring action are:

#### Roof leaks:

There are issues with water entering into the internal area due to roof leaks. A Licensed Roof Plumber should be engaged to further investigate the cause of the leaks and provide advice on the repairs required.

#### Weepholes below path level:

There is potential for water to enter the wall cavity and for termites to gain hidden access.

## MINOR FLAWS

### Details:

The incidence of Minor Flaws in this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:  
High.

## SAFETY CONCERNS

### Details:

The incidence of Safety Concerns in this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:  
Low.

## SAFETY CONCERNS REQUIRING ACTION

### Details:

The significant Safety Concerns to this property are:  
Nil.

## FURTHER ASSESSMENT

### Details:

The incidence of items requiring further investigation by an appropriately qualified expert in this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:  
Typical.

## FURTHER ASSESSMENT ACTIONS REQUIRED

**Details:**

The Significant Items requiring further action for this property are:  
Roof leaks.

## INTERNAL

### AREAS ASSESSED

**Details:**

Main dwelling: Bathroom one, Bedroom two, Bedroom three, Dining, Entry, Hall one, Family room, Laundry one, Lounge, Main bedroom, Main ensuite, Stairwell, Toilet, and Utility room.

Garage.





Main ensuite



Main bedroom



Bedroom two



Hall



Stairwell



Dining/meals room



Kitchen



Laundry





**ACCESS CONDITIONS**

**Details:**

**Assessment to the following areas was unfortunately limited:**  
Nil.

**AREAS OF NO CONCERN**

**Details:**

**No notable issues were noted to the following areas:**  
Utility room.

## WATER/MOISTURE

### Ceiling

**WATER DAMAGED CEILING LINING DUE TO CURRENT ROOF LEAKS**  
Should be repaired after leak issue has been corrected. To be fixed in the near future.

**Repair priority:** Immediate

**Location:** The item identified is located in Bedroom four, Family room, and Kitchen one

**Further inspection or advice required from specialist:** No

Water stain to family room ceiling



Water stain to bedroom four ceiling



Water stain to kitchen ceiling



## STRUCTURE

### Door Frame

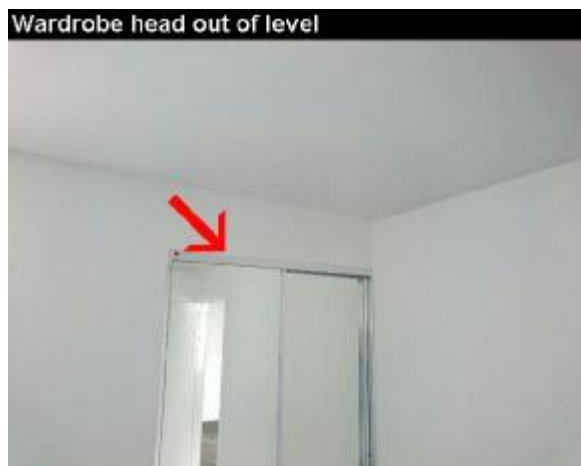
**HEAD SIGNIFICANTLY OUT OF LEVEL**

This is due to poor construction work and does not appear to be linked to any structural issue.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bedroom two

**Further inspection or advice required from specialist:** No



## NOTABLE FLAWS

### BLISTERED FINISH

Should be repaired to prevent further deterioration and/or loss of utility. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Kitchen one

**Further inspection or advice required from specialist:** No

### HOLED CEILING

Should be repaired to prevent further deterioration and/or loss of utility. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bathroom one and Kitchen

**Further inspection or advice required from specialist:** No



**Door**

**INADEQUATE SUPPORT TO WEATHERSTRIP**  
Should be repaired or replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period  
**Location:** The item identified is located in Entry  
**Further inspection or advice required from specialist:** No

**SCREWS POORLY INSTALLED TO STRIKER PLATE**  
Should be replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period  
**Location:** The item identified is located in Lounge  
**Further inspection or advice required from specialist:** No

**OVERSIZE MARGINS TO DOOR**  
Should be repaired or replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period  
**Location:** The item identified is located in Lounge  
**Further inspection or advice required from specialist:** No

**REPAIRS REQUIRED TO DOOR**

Should be repaired or replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Family room/garage

**Further inspection or advice required from specialist:** No

**Notes:** Weather-strip off door: striker plate missing: scratches to architrave: poorly fitted latch: oversize door margins.

SAMPLE ONLY

**OVERSIZE DOOR MARGINS**

Should be repaired or replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bathroom one, Bedroom three, Main bedroom, and Main ensuite

**Further inspection or advice required from specialist:** No

Inadequate support to weatherstrip



Protruding screws to striker plate

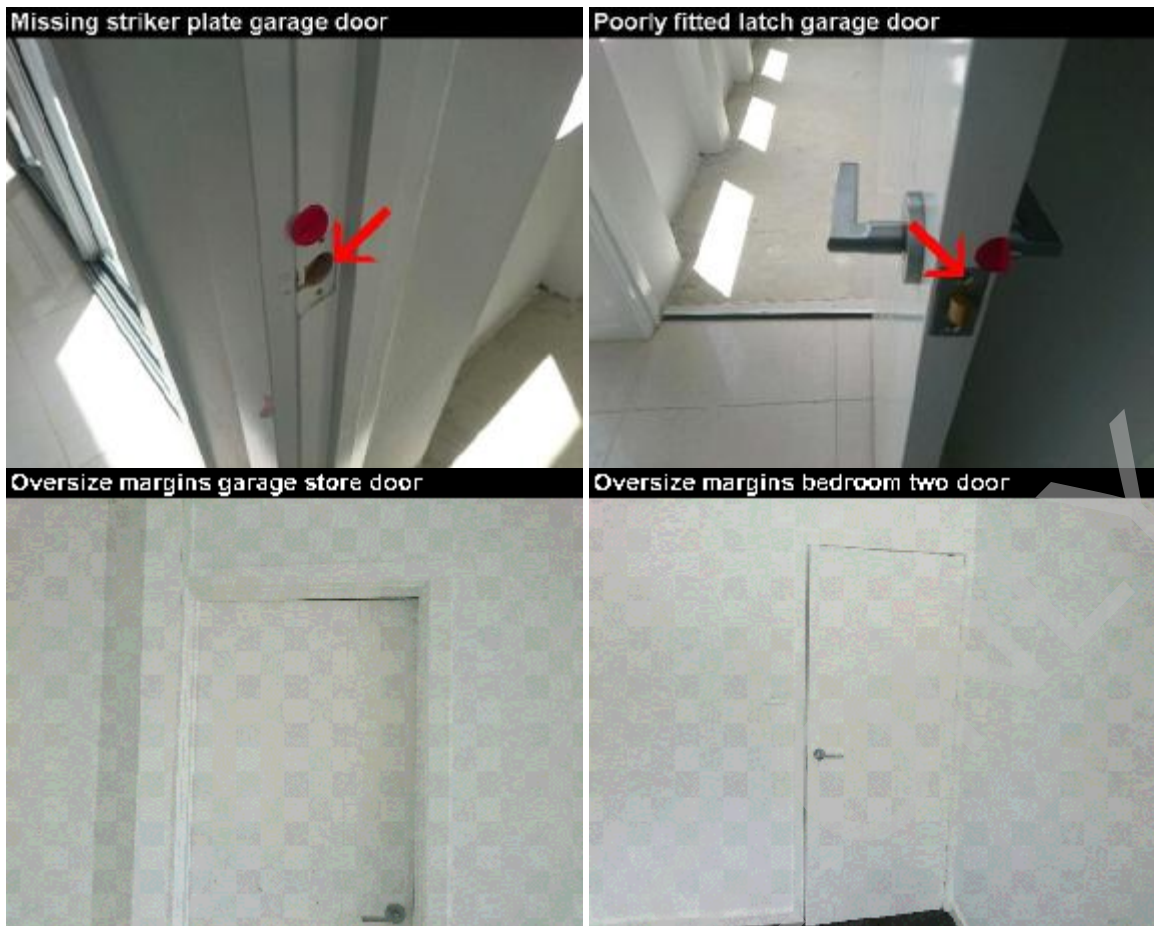


Oversize gaps lounge doors



Detached weatherstrip garage door





**Floor (Concrete)**

**RESIDUE AND STAINS TO FLOOR**

Should be repaired or replaced to prevent further deterioration and/or loss of utility. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Garage

**Further inspection or advice required from specialist:** No



**Kitchen Cupboards**

**MISSING EDGE STRIP**

Should be replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Kitchen

**Further inspection or advice required from specialist:** No

Missing laminate strip kitchen door



### Lining (Plasterboard)

#### HOLED LINING

Should be repaired. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Main bedroom

**Further inspection or advice required from specialist:** No

Hole to main bed wardrobe



### Lining (Timber)

#### WALL FRAME OUT OF SQUARE

Should be repaired or replaced. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bedroom three

**Further inspection or advice required from specialist:** No





**Paint Finishes**

**POOR FINISH**

Residue onto glass and door furniture of doors to entry and entry door sill not stained.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Entry

**Further inspection or advice required from specialist:** No

**POOR PATCHING TO CEILING AND BLISTERING TO FEATURE WALL**

Should be re-painted.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Lounge

**Further inspection or advice required from specialist:** No

**POOR FINISH**

Residue onto glass of doors.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Lounge

**Further inspection or advice required from specialist:** No

**POOR FINISH**

Nail holes unfilled to architrave.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Toilet

**Further inspection or advice required from specialist:** No

**POOR FINISH**

Ceiling unpainted above roller door.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Garage

**Further inspection or advice required from specialist:** No

**POOR FINISH**

Cracking at join of stair stringer and wall lining.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Stairwell

**Further inspection or advice required from specialist:** No

**POOR FINISH**

Ceiling patched and has not been re-painted.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Main ensuite

**Further inspection or advice required from specialist:** No

**POOR FINISH**

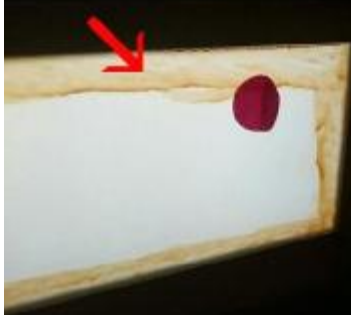
Missing paint to skirting.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bedroom three

**Further inspection or advice required from specialist:** No

Stain to entry door glass



Entry door sill missing stain



Poor paint finish lounge



Stain to glass lounge door



Missing paint to garage ceiling



Gap at join of stairs and wall lining



Unpainted patch to ensuite ceiling



Unpainted skirting



### Carpet

#### POORLY CUT IN

New carpet is required in the affected areas.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bedroom three, Hall one, Main bedroom, and Stairwell

**Further inspection or advice required from specialist:** No



### Tiles (Floor)

#### STAINED TILES

The affected tiles require replacement.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Family room

**Further inspection or advice required from specialist:** No



## MAINTENANCE ITEMS

### Ceiling

#### POOR QUALITY FINISH TO PLASTER JOIN

Re-finishing and painting is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Lounge  
**Further inspection or advice required from specialist:** No

SAMPLE ONLY

**CRACKING TO PLASTER JOINS**

Re-finishing and painting is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Hall one

**Further inspection or advice required from specialist:** No

Poorly finished plaster join to lounge



Cracking to join hall



**General Cleaning**

**INADEQUATE BUILDERS CLEAN**

A thorough and total clean of the dwelling is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in all areas

**Further inspection or advice required from specialist:** No

Staining to entry architrave



Staining to floor of lounge



### Door

#### CATCHING ON FRAME

Should be trimmed or adjusted to allow for correct operation. Repairs can be carried out during routine maintenance.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bedroom two

**Further inspection or advice required from specialist:** No

### Door (Internal Sliding)

#### POOR FINISHING

No caps installed to pelmet screws and nail holes unfilled.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bathroom one, Laundry one, Storage room, Cloakroom and Toilet

**Further inspection or advice required from specialist:** No

### Laundry Tub/Cabinet

#### INADEQUATELY SEALED BENCHTOP

Should be sealed to help prevent the possibility of water penetration beneath the sink and bench top area. To be fixed in the near future.

**Repair priority:** Within one year

**Location:** The item identified is located in Laundry one

**Further inspection or advice required from specialist:** No

Inadequate sealing to laundry benchtop



### Shower Recess

#### SHOWER HEAD BLOCKED

Thorough cleaning is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Main ensuite

**Further inspection or advice required from specialist:** No



**Shower Screen**

**STAINING TO ALUMINIUM STRIP**  
Thorough cleaning is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bathroom one and Main ensuite

**Further inspection or advice required from specialist:** No



**Skirting**

**MISSING SKIRTING**

A new section of skirting should be installed.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Kitchen one

**Further inspection or advice required from specialist:** No





**Tiles (Floor)**

**DAMAGED OR MISSING GROUT**  
Should be re-grouted.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Toilet

**Further inspection or advice required from specialist:** No



**Vanity**

**INCORRECTLY OPERATING DRAWER**  
Should be adjusted to allow for correct operation.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in Bathroom one and Toilet

**Further inspection or advice required from specialist:** No



## APPLIANCE ASSESSMENT

**Please note: Appliances, lights and power points were unable to be operated as no power was connected to the dwelling at the time of the inspection.**

**The neighbour to the north advised the following at the time of the inspection:**

### **Air Conditioners**

**NOT OPERATING CORRECTLY**

Apparently these units have not had their air conditioners commissioned as yet

**Repair priority:** Immediate

**Location:** Internal

**Further inspection or advice required from specialist:** Yes, by a qualified technician

### **Intercom/Security System**

**NOT OPERATING CORRECTLY**

Apparently there has been issues with batteries going flat in these units.

**Repair priority:** Immediate

**Location:** The item identified is located in Bedroom three

**Further inspection or advice required from specialist:** Yes, by a qualified technician

## EXTERNAL

### AREAS ASSESSED

**Details:**

Eastern elevation, Western elevation.



### ACCESS CONDITIONS

**Details:**

Assessment to the following areas was unfortunately restricted:  
Nil.

## AREAS OF NO CONCERN

### Details:

No notable issues were noted to the following areas:  
Nil.

## WATER/MOISTURE

### Brickwork

#### BREACHED DAMPCOURSE

Must lower surface level because it is higher than the dampcourse or internal floor level, to prevent the possibility of water entering the internal area of the building and to prevent deterioration of other elements and/or loss of utility. Must be repaired without delay.

**Repair priority:** Immediate

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No



### Water Tank

#### OVERFLOW PIPE DISCONNECTED

Must be fixed without delay.

**Repair priority:** Immediate

**Location:** The item identified is located in the Western elevation

**Further advice on the scope of the repairs required from specialist:** Yes, by a plumber

Missing overflow pipe to tank



Removed overflow pipe to tank



## DRAINAGE

### Paths

#### GRADED TOWARDS BUILDING

Should correct by grading away from the building and ensuring surface water is tracking away from the building. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No

Eastern path graded towards building



### Surface Drainage

#### INADEQUATE DRAINAGE INSTALLED

Should be improved to ensure surface water tracks away from this area correctly and to prevent deterioration of other elements and/or loss of utility. To be fixed in the near future.

**Repair priority:** Within one year

**Location:** The item identified is located in the Western elevation

**Further inspection or advice required from specialist:** Yes, by a licensed builder or plumber



## MAINTENANCE ITEMS

### Cladding

#### CRACKING TO JOINS

Should be repaired to prevent further deterioration. This type of cracking is common with this type of external cladding.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No

#### LARGE GAPS TO CLADDING JOINS

Should be repaired or replaced to prevent deterioration of other elements and/or loss of utility. To be fixed in the near future.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No



### Paths

#### MINOR CRACKING TO CONCRETE

Not a major concern and quite common.

**Repair priority:** No repairs required at this stage

**Location:** The item identified is located in the Western elevation

**Further inspection or advice required from specialist:** No



### Render

#### DENTED RENDER AND FLAKING PAINT FINISH TO WINDOW SILL AND FENCE

Repair and re-painting of the affected areas is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No

#### SILL DETAIL NOT UNIFORM

Refinishing of the sill should be carried out.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No

#### ARTICULATION JOINT NOT FILLED

Filling of the joint is recommended.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Western elevation

**Further inspection or advice required from specialist:** No





## Tiles

### SLIGHTLY DRUMMY TILES

Repairs may be required over time.

**Repair priority:** During routine maintenance

**Location:** The item identified is located in the Western elevation

**Further inspection or advice required from specialist:** No



## Windows

### BUCKLED TRIM

Repair or replacement of the trim is required.

**Repair priority:** Within defects liability period

**Location:** The item identified is located in the Eastern elevation

**Further inspection or advice required from specialist:** No



## ROOF

### AREAS ASSESSED

**Details:**

Main dwelling.

### ACCESS CONDITIONS

**Details:**

**Assessment to the following areas was unfortunately limited:**

Nil

### AREAS OF NO CONCERN

**Details:**

**No notable issues were noted to the following areas:**

Nil

### STRUCTURE

**Roof Covering (Metal)**

**HOLES TO ROOFING**

Must seal or replace sheeting to help prevent water entry into the roof void and to prevent further deterioration and/or loss of utility. Must be fixed without delay.

**Repair priority:** Immediate

**Location:** The item identified is located in the Main dwelling and Western section

**Further inspection or advice required from specialist:** No



## ROOF VOID

### AREAS ASSESSED

**Details:**

Main dwelling.

### ACCESS CONDITIONS

**Details:**

Assessment to the following areas was unfortunately restricted:  
Nil.

### AREAS OF NO CONCERN

**Details:**

No notable issues were noted to the following areas:  
All areas

### NOTABLE ITEMS

**Insulation**

**BLANKET INSULATION INSTALLED**

Blanket insulation, which is a combination of reflective foil and fiberglass is installed beneath the roof sheeting.

**Repair priority:** N/A

**Location:** The item identified is located in the Main dwelling

**Further inspection or advice required from specialist:** No

**INSULATION BATTS INSTALLED**

Insulation batts are installed to the complete ceiling area.

**Repair priority:** N/A

**Location:** The item identified is located in the Main dwelling

**Further inspection or advice required from specialist:** No



## CRACKING

### IMPORTANT INFORMATION REGARDING CRACKING AND MOVEMENT IN MASONRY AND CONCRETE

#### Details:

Regardless of the type of crack(s) and movement evident, a Building Assessor carrying out an assessment within the scope of a visual assessment is unable to determine the expected consequences of cracks and movement.

Obtaining information regarding:

- (a) The nature of the foundation material on which the building is resting
- (b) The design of the footings
- (c) The site landscape
- (d) The history of the cracks or movement and
- (e) Carrying out an invasive assessment

all fall outside the scope of this assessment. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking or movement and any remedial work needed.

Cracks that are small in width, length and movement which is minimal on the day of the assessment may have the potential to develop over time into structural problems or may exhibit no further changes.

If cracks or movement has been identified in the table below, then only a Structural Engineer is **qualified** to determine the significance of the cracking or movement.

### CRACKING OR MOVEMENT OF MASONRY AND/OR CONCRETE

#### Floor

Garage, 1-3mm cracking visible, Serviceability flaw



#### Render

Western elevation, 1-3mm cracking visible, Appearance flaw



**Appearance Flaw**

Where in the assessor's opinion the appearance of the building item has deteriorated at the time of the assessment and the significance of this cracking or movement is unknown until further information is obtained.

**Serviceability Flaw**

Where in the assessor's opinion the performance of the building item is flawed at the time of the assessment and the expected significance of this cracking or movement is unknown until further information is obtained.

**Structural Flaw**

Where in the assessor's opinion the structural soundness of the building item has diminished at the time of the assessment and the expected significance of this cracking or movement is unknown until further information is obtained.

**IMPORTANT ADVICE**

**Strata and Company Title Properties:**

The assessment is limited to the interior and immediate exterior of the particular unit being inspected. The complete assessment of other common property areas would be the subject of a Special-Purpose Assessment Report.

**Trees:**

Where trees are located close to a house, this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical assessment can determine the foundation material and advise on the best course of action with regards to the trees.

**Septic and Water Tanks:**

Septic and water tanks do not form part of this assessment and report as specified in AS4349.1-2007. These items are the subject of a Special-Purpose Assessment Report and we strongly recommend a licensed plumber be engaged to carry out these assessments.

**Swimming Pools and Spas:**

Swimming Pools & Spas do not form part of the assessment and report as specified in AS4349.1-2007. We strongly recommend a pool expert be consulted to examine any pools, spas, associated equipment, fencing and plumbing.

**Surface Water Drainage:**

The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run-off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

**Foundations:**

As our assessment is visual only, we cannot inspect and report on the condition of the foundations. Foundations can be subject to various forms of movement such as wetting and drying causing shrinkage and expansion or earth movement. This manifests in the building fabric by cracking or causing windows and doors not to operate efficiently, hence to fully assess the sub strata on which the building structure rests a Geo-technical report is required. Alternatively the Local Council may be contacted regarding potential site instability. Local Councils can also advise on local flooding and the adequacy of stormwater reticulation.

**Woodrot:**

Woodrot is generally the result of timbers absorbing water over a period of time. This generally occurs with hardwoods and "Oregon" timber (Douglas Fir). In the past, these were the commonly used timbers for the construction of most parts of the building. These days, Treated Pine, which is resistant to woodrot is used for outdoor purposes.

**Earth Leakage/ Residual Current Detectors:**

Earth Leakage Circuit Breakers (ELCBs) also known as Residual Current Detectors (RCDs), are compulsory in all new homes and most industrial sites in Australia, their function is to detect a tiny imbalance or accidental current flow returning to the Earth conductor and to rapidly isolate the power in that circuit. The prime purpose of the protection is to prevent and protect against accidental electrocution, where connected equipment may be faulty, cords frayed or wiring insulation compromised. For safety purposes it is highly recommended that old systems be upgraded to the new standards.

**Building Regulations:**

Current Council and Building Codes may differ to the regulations in place at the time of construction of the inspected buildings. An item quoted as not meeting current regulations is not necessarily considered illegal and may be acceptable given it meets with the old regulations. However items such as low balustrades may pose a safety risk.

**Lead Paint:**

Older houses are known to contain lead paint. Future renovation work and paint scraping can be hazardous to children and to health. Precautions are recommended. Dust accumulated in roof voids in older industrial suburbs will most likely contain particles of lead. We strongly recommend a qualified expert such as an Industrial Hygienist be engaged to inspect and report on any areas suspected of containing lead paint.

**Other Assessments and Reports Recommended:**

As a purchaser you may like to consider obtaining the following Assessments and Reports prior to any decision to purchase the Property, so that you can be well equipped to make an informed decision. These Assessments and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this Assessment Report.

Timber Pest Assessment    Electrical Assessment    Plumbing Assessment    Asbestos Assessment    Mechanical Services

Drainage Assessment    Mould Assessment    Air conditioning Assessment    Appliances Assessment  
Alarm/Intercom/Data Systems

Structural (Engineer)    Geotechnical Assessment    Durability of Exposed Surfaces    Hydraulics  
Assessment    Swimming Pool Assessment

Council Plan Assessment    Hazards Assessment    Fire/Chimney Assessment    Estimating Report    Garage  
Door Mechanical    Gas fitting Assessment

## **Important Information Regarding the Scope and Limitations of the Inspection and this Report**

### **Important Information:**

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is NOT an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or major/significant defects apparent at the time of the inspection. Whether or not a defect is considered major/significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (e.g. *In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; detection and identification of illegal wiring; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (NB Such matters may upon request be covered under the terms of a Special-purpose Property Report.)

4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by Us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.



**5) ASBESTOS DISCLAIMER:** "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the report. Buildings constructed prior to 1985 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings constructed after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to people's health. You should seek advice from a qualified asbestos expert."

**6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non-wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, Mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industrial Hygienist.

**7) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -

- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.

**8) DISCLAIMER OF LIABILITY TO THIRD PARTIES:** We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.