



Peace of Mind Building, Timber Pest & Compliance Report

4 Smith Place
Smithtown NSW/ACT

PROPERTY & ASSESSMENT DETAILS**DETAILS OF THE ASSESSMENT****Client:**

Mr Sample

Address of Property Assessed:

4 Smith Street, Smithtown

ASSESSOR DETAILS**Contact Phone:**

0428 711 706.

Technician Name:

Bruce Cohen

Accreditation Number:

3528.

ASSESSMENT DATE

13/02/2016.

TIME OF ASSESSMENT

10.30 AM.

REPORT PREPARED DATE

15/02/2016.

PURPOSE OF ASSESSMENT

The purpose of the assessment is to provide advice to a prospective purchaser or other interested party regarding the condition of the property at the time of the assessment. The advice is limited to the reporting of the condition of the building elements in accordance with Appendix C AS4349.1-2007.

SCOPE OF ASSESSMENT

The assessment & report will be of the building elements as outlined in Appendix C of AS4349.1-2007; if a special purpose assessment has been agreed to as part of this assessment it will be in addition to Appendix C.

Note: The assessment of electrical equipment is not carried out by an electrician and is only tested to determine that items are in working order and able to be used at the time of the assessment. We do not offer any opinion as the operating efficiency of any item reported on. It is recommended that a full assessment of these items is carried out by an appropriately qualified/licensed person.

For strata titled properties the assessment will be in accordance with Appendix B of AS4349.1-2007.

The assessment and report provided is on an exceptions basis as set out in AS4349.1-2007 section 4, clause 4.1. Non-flawed items and areas or items and areas performing to the correct standard will not necessarily be reported on.

The assessment comprised a visual assessment of the property to identify major flaws and to form an opinion regarding the general condition of the property at the time of the assessment.

The assessment & report in accordance with AS4349.1-2007 is not a certificate of compliance of the property within the requirements of any Act, regulation, ordinance, local law or by-law. It does not include the identification of unauthorised building work or of work not compliant with building regulations. The standard assumes that the existing use of the building will continue.

An estimate of the cost of rectification of flaws is outside the scope of the standard and therefore does not form part of this report.

The assessment included the building and the property within 30 metres of the building subject to assessment.

INSPECTION AGREEMENT

AGREEMENT NO:

15903

DATE OF AGREEMENT:

12/2/16.

ACCEPTANCE CRITERIA

The building has been compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

WEATHER & ORIENTATION

Weather Conditions:

Dry.

Orientation:

For the purpose of identification South is assumed to be approximately at the main street frontage of the property.

PROPERTY DETAILS

Building Type:

Free Standing Domestic House.

No of Storeys:

Single Storey.

Flooring:

Concrete Slab on Ground.

Piers Type:

Nil.

Internal Walls:

Timber with Plasterboard.

External Walls:

Brick Veneer.

Roofing:

Decra Tiles.

Roof Type:

Cathedral.

Garages:

Double Detached.

Carports:

Nil.

Decks:

Concrete.

Pergolas:

Covered Timber.

Outbuildings:

Metal Shed/s.

Fences:

Timber & Wire.

THE AREAS ASSESSED

Details:

Interior, Exterior, Garages, Roof Exterior, Fences, Grounds, Sheds, Pergolas, and Decks.

HIGH RISK AREAS/S TO WHICH ACCESS SHOULD BE GAINED OR FULLY GAINED, SINCE THEY MAY SHOW EVIDENCE OF MAJOR FLAWS, TIMBER PESTS OR TIMBER DAMAGE

Details:

Nil.

EXPLANATORY NOTES

Definitions/Terminology:

Accessible Area:

An area on the site where sufficient, safe and reasonable access is available to allow assessment within the scope of the assessment.

Inaccessible Area:

An area on the site where sufficient, safe and reasonable access is **not** available to allow assessment within the scope of the assessment.

Major/Significant Flaw:

A flaw of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Flaw:

Minor flaws are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to material and finishes, such as de-silvering of mirrors. It is expected that flaws of this type would be rectified as part of normal ongoing property maintenance.

Safety Concern:

Any observed item that may constitute a present or imminent serious safety concern.

Further Investigation Required:

A matter identified requiring further investigation by an appropriately qualified expert.

Site:

Allotment of land on which a building stands or is to be erected.

Operational:

Items are in working order and able to be used at the time of the assessment.

Not Operational:

Items are NOT in working order and were unable to be used at the time of the assessment.

Explanation of codes used within the report

Relevant Specialist Description:

Relevant Specialist - the relevant expert who may be able to provide assistance in relation to repair or replacement of a particular item or area.

BUILDING REPORT SUMMARY

PURPOSE OF REPORT

The purpose of this report is to provide advice regarding the condition of the property at the time at the assessment. This assessment comprised a visual assessment of the property to identify major flaws and to form an opinion regarding the condition of the property at the time of the assessment.

The Definitions (High), (Typical) and (Low) noted in the summary below relate to the assessors opinion of the overall condition of the building:

Low:

The frequency and/or magnitude of flaws are lower than the assessors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical:

The frequency and/or magnitude of flaws are consistent with the assessors expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

High:

The frequency and/or magnitude of flaws are beyond the assessors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

PROPERTY CONDITION

Details:

When compared with properties of a similar age this property is generally in:
Good Condition.

MAJOR FLAWS

Details:

The incidence of Major Flaws to this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:
Low.

MAJOR FLAWS REQUIRING ACTION

Details:

The Major Flaws requiring action are:

Roof in poor condition:

The roof is in poor condition and requires significant repairs or replacement. It is recommended further advice is obtained from a Licensed Roof Plumber regarding the roof.

MINOR FLAWS

Details:

The incidence of Minor Flaws in this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:
Typical.

SAFETY CONCERNS

Details:

The incidence of Safety Concerns in this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:
Low.

SAFETY CONCERNS REQUIRING ACTION

Details:

The significant Safety Concerns to this property are:
Nil.

FURTHER ASSESSMENT

Details:

The incidence of items requiring further investigation by an appropriately qualified expert in this building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered:
Low.

FURTHER ASSESSMENT ACTIONS REQUIRED

Details:

The Significant Items requiring further action for this property are:
Nil.

INTERNAL

AREAS ASSESSED

Details:

Main dwelling: Bathroom one, Bedroom two, Bedroom three, Hall one, Family room, Kitchen one, Laundry one, Lounge, Main bedroom, Main ensuite, Meals room, and Toilet. Garage.

Meals room



Garage



Bedroom three



Bedroom two

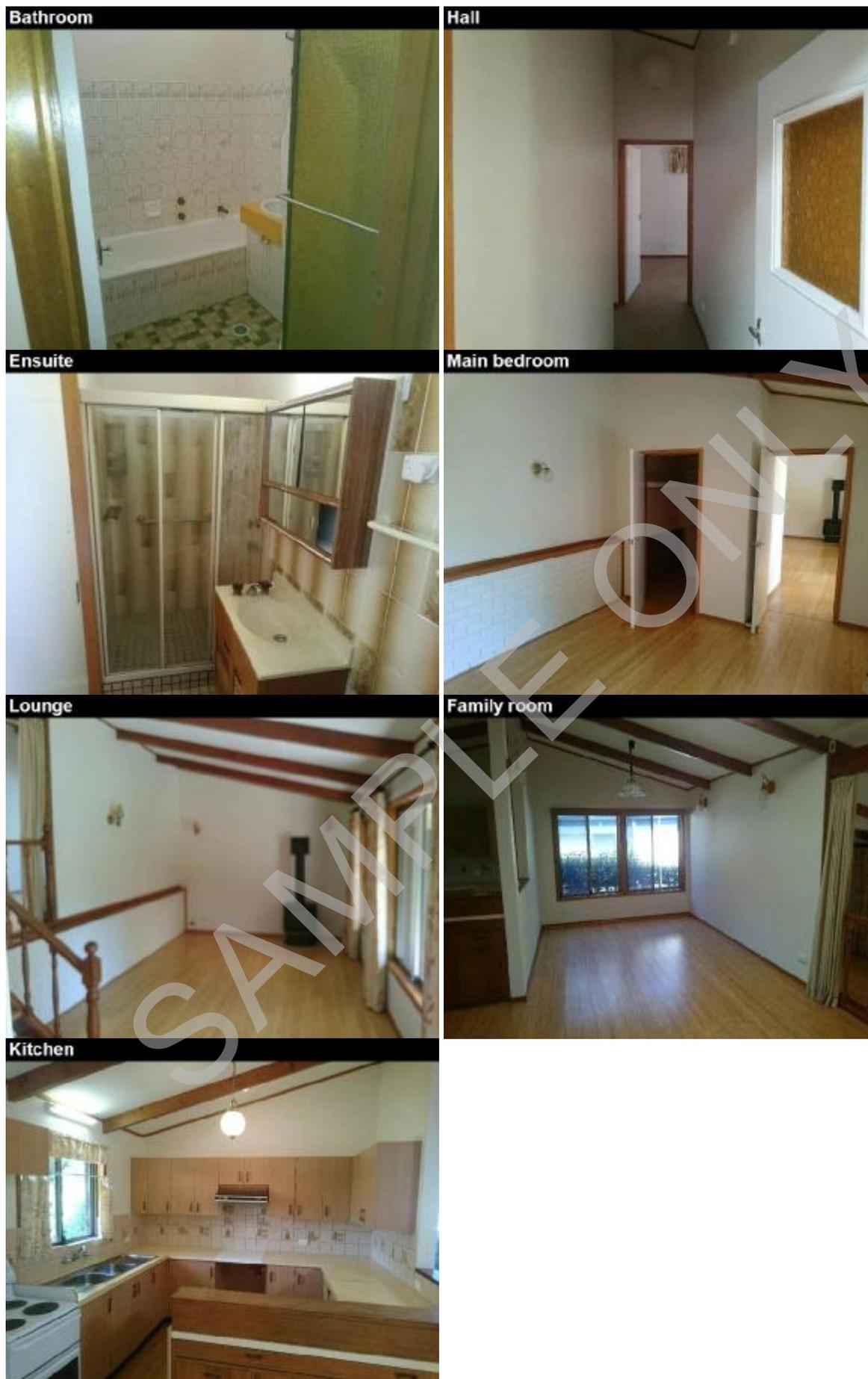


Laundry



Toilet





ACCESS CONDITIONS

Details:

Assessment to the following areas was unfortunately limited:
Nil.

AREAS OF NO CONCERN

Details:

No notable issues were noted to the following areas:
Bedroom three and Meals room.

WATER/MOISTURE

Brickwork

MOISTURE TO EXTERNAL WALL

The external ground level is higher than the internal floor level in this area and there may be issues with the drainage or waterproofing of this wall. Must be fixed without delay.

Repair priority: Immediate

Location: The item identified is located in Detached garage

Further inspection or advice required from specialist: Yes, by a licensed builder

Moisture to garage wall east



Moisture to garage wall south



Ceiling

MODERATE MOULD TO CEILING

May be linked to a leak into the roof void area or due to a lack of ventilation during use of the shower. Poses a health risk. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Bathroom one and Main ensuite

Further inspection or advice required from specialist: Yes, by a licensed roof plumber

WATER STAINED CEILING LINING DUE TO ROOF LEAKS

Should be further assessed to determine if there are any current issues with leaks. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Main bedroom

Further inspection or advice required from specialist: No

Notes: The exhaust fan to bathroom is not operating.

Moisture stained ceiling main bedroom



Mould to bathroom ceiling



Mould to ensuite ceiling



Shower Screen

LEAKING SCREEN

Should be resealed to prevent deterioration of other elements. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Bathroom one

Further inspection or advice required from specialist: No

Leaking screen main bathroom



SAFETY/AMENITY

Smoke Alarm

OPERATIONAL SMOKE ALARM

This alarm appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Family room, Hall one, and Lounge

Further inspection or advice required from specialist: No

NOTABLE FLAWS

Kitchen Cupboards

DELAMINATING BENCH TOP

Should be repaired or replaced. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Kitchen one

Further inspection or advice required from specialist: No

LOOSE HINGE

Should be secured to allow for correct operation of the door. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Kitchen one

Further inspection or advice required from specialist: No

MISSING DRAWER/INFILL

Should be replaced. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Kitchen one

Further inspection or advice required from specialist: No



Tiles (Wall)

SIGNIFICANTLY DRUMMY TILES

Should be replaced to prevent further deterioration and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Kitchen one and Laundry one

Further inspection or advice required from specialist: No

MISSING AND DETACHED TILES

Should be replaced. To be fixed in the near future.

Repair priority: Within one year
Location: The item identified is located in Laundry one
Further inspection or advice required from specialist: No

Drummy wall tiles kitchen



Missing tiles laundry



Detached and broken tiles laundry



Toilet

LOOSE PAN

Should be resecured to the floor. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in Toilet

Further inspection or advice required from specialist: No

MAINTENANCE ITEMS

Laundry Tub/Cabinet

MINOR RUST TO CABINET

Should be treated to help prevent any further deterioration. Repairs can be carried out during routine maintenance.

Repair priority: During routine maintenance

Location: The item identified is located in Laundry one

Further inspection or advice required from specialist: No



Shower Recess

LEAKS TO SHOWER HEAD

Should be repaired or replaced in the near future.

Repair priority: During routine maintenance

Location: The item identified is located in Main ensuite

Further inspection or advice required from specialist: No

Tiles (Wall)

SLIGHTLY CRACKED TILES

Aesthetic issue only. Not affecting product integrity.

Repair priority: No repairs required at this stage

Location: The item identified is located in Main ensuite

Further inspection or advice required from specialist: No

Vanity

MINOR WATER DAMAGE TO CUPBOARDS

Should be repaired. Repairs can be carried out during routine maintenance.

Repair priority: During routine maintenance

Location: The item identified is located in Bathroom one

Further inspection or advice required from specialist: No



Wardrobe

MISSING INFILL PANELS

Should be repaired or replaced. Repairs can be carried out during routine maintenance.

Repair priority: During routine maintenance

Location: The item identified is located in Bedroom two

Further inspection or advice required from specialist: No



APPLIANCE ASSESSMENT

Ceiling Fan

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Bedroom two and Family room

Further inspection or advice required from specialist: No

Ceiling fan family room



Ceiling fan bedroom two



Exhaust Fan

NOT OPERATING CORRECTLY

Inspection is required by a qualified technician.

Repair priority: Immediate

Location: The item identified is located in Bathroom one

Further inspection or advice required from specialist: Yes, by a qualified technician

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Main ensuite and Toilet

Further inspection or advice required from specialist: No



Garage Door Operators

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Detached garage

Further inspection or advice required from specialist: No

Heater

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Bathroom one, Lounge, and Main ensuite

Further inspection or advice required from specialist: No

Notes: Fan not working to gas heater, Heater to bathroom noisy during operation.



Hot Water Unit

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Laundry one

Further inspection or advice required from specialist: No

Hot water unit laundry



HWS dated 1981



Hot water unit



SAMPLE ONLY

Hotplates

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Kitchen one

Further inspection or advice required from specialist: No



Lights

LIGHT IS NOT OPERATING

Replace the globe and retest operation of light.

Repair priority: Within one year

Location: The item identified is located in Family room, Lounge, and Toilet

Further inspection or advice required from specialist: No

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Bathroom one, Bedroom two, Bedroom three, Detached garage, Family room, Hall one, Kitchen one, Lounge, Main ensuite, and Meals room

Further inspection or advice required from specialist: No

Notes: Dimmer not operating to bedroom two.



Power Points

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Bathroom one, Bedroom two, Bedroom three, Detached garage, Hall one, Family room, Kitchen one, Lounge, Main ensuite, and Meals room

Further inspection or advice required from specialist: No

Notes: Some switches worn and damaged to kitchen.



Rangehood

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Kitchen one

Further inspection or advice required from specialist: No

THE LIGHT IS NOT OPERATING

Replace globe and retest operation.

Repair priority: Low

Location: The item identified is located in the Kitchen one

Further inspection or advice required from specialist: No



Stove/Oven

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Kitchen one

Further inspection or advice required from specialist: No



EXTERNAL

AREAS ASSESSED

Details:

Northern elevation, Southern elevation, Eastern elevation, Western elevation.



ACCESS CONDITIONS

Details:

Assessment to the following areas was unfortunately restricted:

Nil.

AREAS OF NO CONCERN

Details:

No notable issues were noted to the following areas:

Nil.

MAINTENANCE ITEMS

Chimney/Flue

NOTABLE SOOT STAINING TO EAVE

Assessment by qualified technician is recommended. Repairs can be carried out during routine maintenance.

Repair priority: Low

Location: The item identified is located in the Western elevation

Further inspection or advice required from specialist: No

Notes: The soot is located above the flue for the gas heater.

Soot staining to western eave



Cladding

MODERATELY DAMAGED CLADDING

Should be repaired or replaced to prevent deterioration of other elements and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Southern elevation

Further inspection or advice required from specialist: No

Damaged cladding south



Columns/Posts

MINOR RUSTED METAL FIXINGS

Should be treated to help prevent further deterioration and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Northern elevation and Southern elevation

Further inspection or advice required from specialist: No



Downpipes

LOOSE BRACKETS

Should be secured to ensure the downpipe is held in place correctly. Repairs can be carried out during routine maintenance.

Repair priority: During routine maintenance

Location: The item identified is located in the Eastern elevation and Western elevation

Further inspection or advice required from specialist: No

MODERATELY RUSTED METAL

Should be treated to help prevent further deterioration and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Western elevation

Further inspection or advice required from specialist: No

Rusted downpipe west



Loose bracket east



Rusted downpipe west



Gate

MODERATE WOODROT TO GATE

Should be repaired or replaced to prevent further deterioration and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Eastern elevation

Further inspection or advice required from specialist: No

Woodrot to gate east



Gutter

MODERATELY RUSTED GUTTER

Should be repaired or replaced to prevent further deterioration and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Southern elevation

Further inspection or advice required from specialist: No

Rusted gutter south



APPLIANCE ASSESSMENT

Bore Pump

UNABLE TO BE ASSESSED FULLY

The pump was switched on and was found to be operating; however it is unknown whether or not water is being drawn to the surface and if so where it is connected to. It is recommended a suitably experienced plumber is engaged to assess the operation of the bore.

Repair priority: Unable to determine

Location: The item identified is located in Western elevation

Further inspection or advice required from specialist: No

Bore pump



Lights

LIGHT IS NOT OPERATING

Replace the globe and retest operation of light.

Repair priority: Within one year

Location: The item identified is located in Northern elevation and Southern elevation

Further inspection or advice required from specialist: No

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Northern elevation

Further inspection or advice required from specialist: No

Inoperable light south



Inoperable light north



Power Points

OPERATIONAL

This item appeared to be operating correctly at the time of the inspection.

Repair priority: No repairs required at this stage

Location: The item identified is located in Western elevation

Further inspection or advice required from specialist: No

GROUNDS

AREAS ASSESSED

Details:

Northern grounds, Southern grounds, Eastern grounds, Western grounds.

ACCESS CONDITIONS

Details:

**Assessment to the following areas was unfortunately limited:
All grounds because of Vegetation.**

AREAS OF NO CONCERN

Details:

**No notable issues were noted to the following areas:
Northern grounds, Eastern grounds, Western grounds.**

DRAINAGE

Surface Drainage

NO DRAINAGE INSTALLED

May need to be installed to ensure surface water tracks away from this area correctly and to prevent deterioration of other elements and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Southern grounds

Further inspection or advice required from specialist: Yes, by a licensed builder or plumber

Notes: The soil in this area is quite sandy and surface water is likely to drain away quite quickly naturally



DETACHED GARAGING

AREAS ASSESSED

Details:

Garage.



ACCESS CONDITIONS

Details:

Assessment to the following areas was unfortunately limited:

Nil.

AREAS OF NO CONCERN

Details:

No notable issues were noted to the following areas:

Nil.

WATER/MOISTURE

Downpipes

SIGNIFICANTLY RUSTED METAL

Must be replaced to help prevent loss of utility. Must be replaced without delay.

Repair priority: Immediate

Location: The item identified is located in the Garage

Further inspection or advice required from specialist: No



DRAINAGE

Surface Drainage

GROUND LEVEL ABOVE DAMPCOURSE

Must be lowered to help prevent the possibility of dampness affecting the building fabric and to prevent deterioration of other elements and/or loss of utility. Must be fixed without delay.

Repair priority: Immediate

Location: The item identified is located in the Garage

Further inspection or advice required from specialist: No



MAINTENANCE ITEMS

Door Frame

MINOR WOODROT TO FRAME

Should be repaired to prevent deterioration of other elements and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Garage

Further inspection or advice required from specialist: No

Woodrot garage door frame



Gutter

BOWED GUTTER

Should be repaired or replaced since gutter is likely to hold water. Necessary to ensure water is tracking towards the downpipes and prevent deterioration of other elements and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Garage

Further inspection or advice required from specialist: No

Bowed gutter garage north



Window Sill

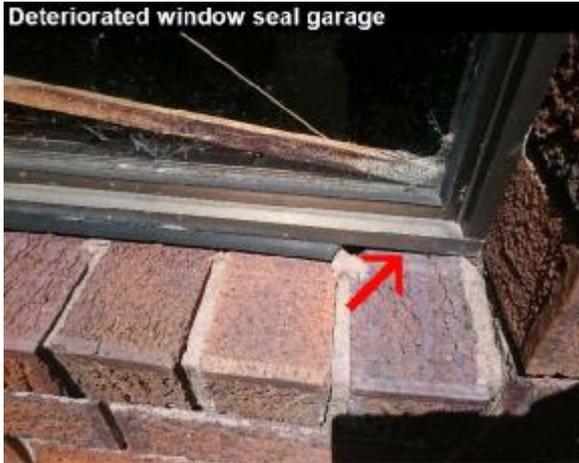
DETERIORATED WINDOW SEALS

Should replace seals or sealing. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Garage

Further inspection or advice required from specialist: No



SAMPLE ONLY

OUTBUILDINGS

AREAS ASSESSED

Details:

Metal shed.



ACCESS CONDITIONS

Details:

Assessment to the following areas was unfortunately limited:

Nil.

AREAS OF NO CONCERN

Details:

No notable issues were noted to the following areas:

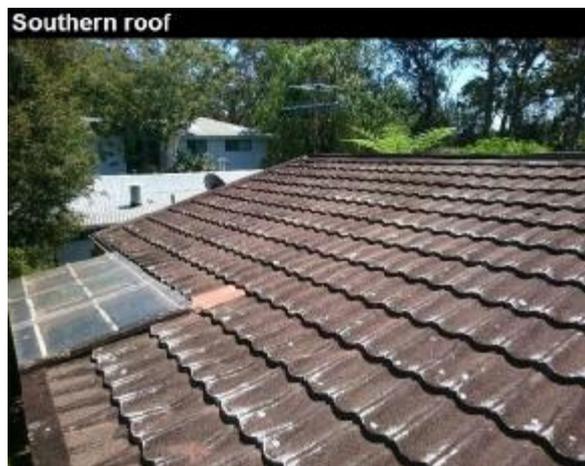
Metal shed.

ROOF

AREAS ASSESSED

Details:

Garage, Main dwelling.



ACCESS CONDITIONS

Details:

Assessment to the following areas was unfortunately limited:

Nil.

AREAS OF NO CONCERN

Details:

No notable issues were noted to the following areas:

Nil.

MAINTENANCE ITEMS

Gutter

DEBRIS TO GUTTER

Should remove debris or leaf matter to help prevent blockages and overflow of the gutters. A quality leaf guard can be installed to help prevent accumulation of debris. Repairs can be carried out during routine maintenance.

Repair priority: During Routine maintenance

Location: The item identified is located in the Garage

Further inspection or advice required from specialist: No



SAMPLE ONLY

Roof (Metal Decra Tiles)

DENTED DECRA TILES

Should be repaired or replaced. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Main dwelling, Northern section, and Southern section

Further inspection or advice required from specialist: No

MODERATELY RUSTED ROOF SHEETING

Should be repaired or replaced to prevent further deterioration and/or loss of utility. To be fixed in the near future.

Repair priority: Within one year

Location: The item identified is located in the Main dwelling, Northern section, and Southern section

Further inspection or advice required from specialist: No



ROOF VOID

AREAS ASSESSED

Details:

Nil: No roof voids exist to the structures on the property.

SUBFLOOR

AREAS ASSESSED

Details:

Nil: No subfloor exists to the structures on the property.

CRACKING

IMPORTANT INFORMATION REGARDING CRACKING AND MOVEMENT IN MASONRY AND CONCRETE

Details:

Regardless of the type of crack(s) and movement evident, a Building Assessor carrying out an assessment within the scope of a visual assessment is unable to determine the expected consequences of cracks and movement.

Obtaining information regarding:

- (a) The nature of the foundation material on which the building is resting
- (b) The design of the footings
- (c) The site landscape
- (d) The history of the cracks or movement and
- (e) Carrying out an invasive assessment

all fall outside the scope of this assessment. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking or movement and any remedial work needed.

Cracks that are small in width, length and movement which is minimal on the day of the assessment may have the potential to develop over time into structural problems or may exhibit no further changes.

If cracks or movement has been identified in the table below, then only a Structural Engineer is **qualified** to determine the significance of the cracking or movement.

CRACKING OR MOVEMENT OF MASONRY AND/OR CONCRETE

Nil

Nil.

Appearance Flaw

Where in the assessor's opinion the appearance of the building item has deteriorated at the time of the assessment and the significance of this cracking or movement is unknown until further information is obtained.

Serviceability Flaw

Where in the assessor's opinion the performance of the building item is flawed at the time of the assessment and the expected significance of this cracking or movement is unknown until further information is obtained.

Structural Flaw

Where in the assessor's opinion the structural soundness of the building item has diminished at the time of the assessment and the expected significance of this cracking or movement is unknown until further information is obtained.

IMPORTANT ADVICE**Strata and Company Title Properties:**

The assessment is limited to the interior and immediate exterior of the particular unit being inspected. The complete assessment of other common property areas would be the subject of a Special-Purpose Assessment Report.

Trees:

Where trees are located close to a house, this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical assessment can determine the foundation material and advise on the best course of action with regards to the trees.

Septic and Water Tanks:

Septic and water tanks do not form part of this assessment and report as specified in AS4349.1-2007. These items are the subject of a Special-Purpose Assessment Report and we strongly recommend a licensed plumber be engaged to carry out these assessments.

Swimming Pools and Spas:

Swimming Pools & Spas do not form part of the assessment and report as specified in AS4349.1-2007. We strongly recommend a pool expert be consulted to examine any pools, spas, associated equipment, fencing and plumbing.

Surface Water Drainage:

The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run-off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainer.

Foundations:

As our assessment is visual only, we cannot inspect and report on the condition of the foundations. Foundations can be subject to various forms of movement such as wetting and drying causing shrinkage and expansion or earth movement. This manifests in the building fabric by cracking or causing windows and doors not to operate efficiently, hence to fully assess the sub strata on which the building structure rests a Geotechnical report is required. Alternatively the Local Council may be contacted regarding potential site instability. Local Councils can also advise on local flooding and the adequacy of stormwater reticulation.

Woodrot:

Woodrot is generally the result of timbers absorbing water over a period of time. This generally occurs with hardwoods and "Oregon" timber (Douglas Fir). In the past, these were the commonly used timbers for the construction of most parts of the building. These days, Treated Pine, which is resistant to woodrot is used for outdoor purposes.

Earth Leakage/ Residual Current Detectors:

Earth Leakage Circuit Breakers (ELCBs) also known as Residual Current Detectors (RCDs), are compulsory in all new homes and most industrial sites in Australia, their function is to detect a tiny imbalance or accidental current flow returning to the Earth conductor and to rapidly isolate the power in that circuit. The prime purpose of the protection is to prevent and protect against accidental electrocution, where connected equipment may be faulty, cords frayed or wiring insulation compromised. For safety purposes it is highly recommended that old systems be upgraded to the new standards.

Building Regulations:

Current Council and Building Codes may differ to the regulations in place at the time of construction of the inspected buildings. An item quoted as not meeting current regulations is not necessarily considered illegal and may be acceptable given it meets with the old regulations. However items such as low balustrades may pose a safety risk.

Lead Paint:

Older houses are known to contain lead paint. Future renovation work and paint scraping can be hazardous to children and to health. Precautions are recommended. Dust accumulated in roof voids in older industrial suburbs will most likely contain particles of lead. We strongly recommend a qualified expert such as an Industrial Hygienist be engaged to inspect and report on any areas suspected of containing lead paint.

Other Assessments and Reports Recommended:

As a purchaser you may like to consider obtaining the following Assessments and Reports prior to any decision to purchase the Property, so that you can be well equipped to make an informed decision. These Assessments and Reports fall outside the guidelines for a Standard Property Report as specified in AS4349.1-2007 and are excluded from this Assessment Report.

Timber Pest Assessment Electrical Assessment Plumbing Assessment Asbestos Assessment Mechanical Services

Drainage Assessment Mould Assessment Air conditioning Assessment Appliances Assessment
Alarm/Intercom/Data Systems

Structural (Engineer) Assessment Geotechnical Assessment Durability of Exposed Surfaces Hydraulics
Assessment Swimming Pool Assessment

Council Plan Assessment Hazards Assessment Fire/Chimney Assessment Estimating Report Garage
Door Mechanical Gas fitting Assessment

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Important Information:

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is NOT an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or major/significant defects apparent at the time of the inspection. Whether or not a defect is considered major/significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; detection and identification of illegal wiring; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (NB Such matters may upon request be covered under the terms of a Special-purpose Property Report.)

4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by Us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

5) ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the report. Buildings constructed prior to 1985 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings constructed after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to people's health. You should seek advice from a qualified asbestos expert."

6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non-wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, Mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industrial Hygienist.

7) CONDITIONS :- This standard property report is conditional upon or conditional in relation to -

- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.

8) DISCLAIMER OF LIABILITY TO THIRD PARTIES: We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

VISUAL TIMBER PEST INSPECTION & REPORT IN ACCORDANCE WITH AS4349.3-2010

BRIEF SUMMARY

Important Disclaimer:

- . This summary is supplied to allow a quick and superficial overview of the inspection results.
- . This summary is NOT the Report and cannot be relied upon on its own.
- . This Summary must be read in conjunction with the full report and not in isolation from the report.
- . If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.
- . The Report is subject to conditions and limitations. Your attention is particularly drawn to the Clauses, Disclaimer of Liability to Third Parties, Limited Liability to a Purchaser within the Australian Capital Territory and to the Notice to the Purchaser at the back of this Report.

For complete and accurate information You must refer to the following Complete Visual Timber Pest Report.

Important: We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites for this property.

If it is more than 60 days from the inspection date, a new inspection and report is needed.

ACCESS

Are there any Area(s) and/or Section(s) to which Access should be gained?

Yes.

TIMBER PEST ACTIVITY

Were active subterranean termites (live specimens) found?

No.

Was visible evidence of subterranean termite workings or damage found?

No.

Was visible evidence of borers of seasoned timbers found?

No.

Was evidence of damage caused by wood decay (rot) fungi found?

Yes.

Are further inspections recommended?

No.

Were any major safety hazards related to Timber Pest Activity and/or Damage identified?

No.

Degree of risk of subterranean termite infestation:

High.

INTERIOR

Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Termites

Termite Activity

No - None found at the time of the inspection.

Termite Damage

Damage caused by termites found

No - None found at the time of the inspection.

Anobium punctatum borer damage found

Damage found

No - None found at the time of the inspection.

Wood decay damage found

Description

No - None found at the time of the inspection.

Lyctus borer damage

Description

No - None found at the time of the inspection.

Evidence of active termites

Details

No visible evidence of active termite was detected to accessible areas at the time of inspection.

EXTERNAL AREAS

Termites

Termite Activity

No - None found at the time of the inspection.

Termite Damage

Damage caused by termites found

No - None found at the time of the inspection.

Anobium punctatum borer damage found

Damage found

No - None found at the time of the inspection.

Wood decay damage found

Description

Yes - Wood decay damage was noted to the following timbers/areas. IMPORTANT: SEE NOTE ON FUNGAL DECAY.

Affected timbers

Gate.

Location/area

Eastern elevation.

Severity:

Visible timber damage appears moderate. Please refer to the definitions section of this report on Timber Damage.



Lyctus borer damage

Description

No - None found at the time of the inspection.

Conducive Conditions

Description

The hot water system overflow is discharging moisture adjacent to the structure. We recommend the overflow be situated over a drain; Logs to garden should be removed;

Hot water overflow pipe



Timber log



Evidence of active termites

Details

No visible evidence of active termite was detected to accessible areas at the time of inspection.

Timbers Exposed To Weather and/or Water: Some species of timber may be used in areas for which they are not suitable. Where this occurs, the timber may be damaged by Timber Pests, in particular termites and wood decay. In most cases, these timbers may be protected with normal maintenance, e.g. regular painting. However in some cases, you should consider replacing the timbers with a more suitable species or material.

GARAGING

Garaging Type

Describe garaging

A garage.

Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. Recommend access be gained.

Termites

Termite Activity

No - None found at the time of the inspection.

Termite Damage

Damage caused by termites found

No - None found at the time of the inspection.

Anobium punctatum borer damage found

Damage found

No - None found at the time of the inspection.

Wood decay damage found

Description

Yes - Wood decay damage was noted to the following timbers/areas. IMPORTANT: SEE NOTE ON FUNGAL DECAY.

Affected garage timbers;

Door frame timbers.

Severity:

Visible timber damage appears minor. Please refer to the definitions section of this report on Timber Damage.



Lyctus borer damage

Description

No - None found at the time of the inspection.

Garaging Conducive Conditions

Description

High moisture levels were detected to some internal walls as noted below. The moisture was considered higher than acceptable for the property inspected. This can be an indicator of a free moisture source (water seepage). In all cases where a high moisture level is encountered, we strongly recommend further investigations be carried out to determine the cause of this situation; Location, Southern wall, Eastern wall.

Evidence of active termites

Details

No visible evidence of active termite was detected to accessible areas at the time of inspection.

SAMPLE ONLY

OUTBUILDINGS TIMBER PEST

Outbuildings Description

List of outbuildings

A shed.

Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. Recommend access be gained.

Termites

Termite Activity

No - None found at the time of the inspection.

Termite Damage

Damage caused by termites found

No - None found at the time of the inspection.

Anobium punctatum borer damage found

Damage found

No - None found at the time of the inspection.

Wood decay damage found

Description

No - None found at the time of the inspection.

Lyctus borer damage

Description

No - None found at the time of the inspection.

Evidence of active termites

Details

No visible evidence of active termite was detected to accessible areas at the time of inspection.

ROOF INTERNAL

Inspection within any accessible roof cavity will normally be limited by a number of factors including the method of construction, low pitched or inaccessible sections, insulating materials, ducting and in some instances, stored items.

Restrictions:

Access Limitations:

The entire roof is of cathedral type construction where the ceilings follow the roof contour and no cavity is present for inspection.

A comment is not made where access was unable to be gained. Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. Timbers above the areas nominated were not accessed and not able to be inspected. Recommend access be gained to allow a full inspection of inaccessible areas.

SAMPLE ONLY

FINAL DETAILS

FINAL DETAILS

Is there a Termite Management Sticker

No.

Evidence of a sticker that has been removed

No.

Evidence of Previous Treatment

No.

Level of Environmental Termite Pressure

High.

Overall Risk of Timber Pest Infestation

High.

Major Safety Hazards

Major safety hazards related to timber pest activity and/or damage were not identified.

Termite Management Recommendation

Not Essential, but 12 monthly inspections are recommended.

Frequency of Further Inspections

12 Months.

Termite Treatment Proposal Provided

No.

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

FUTURE INSPECTIONS: AS 3660.2-2000 recommends that inspections be carried out at intervals no greater than annually and that, where timber pest "pressure" is greater, this interval should be shortened. Inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

NOTE: TIMBERS EXPOSED TO WEATHER AND/OR WATER:

Some species of timber may be used in areas for which they are not suitable. Where this occurs, the timber may be damaged by Timber Pests, in particular termites and wood decay. In most cases, these timbers may be protected with normal maintenance, e.g. regular painting. However in some cases, You should consider replacing the timbers with a more suitable species or material.

It is strongly recommended that You consult a Builder, Architect or other specialist in the field to inspect exposed timbers to give expert advice on their durability and suitability for the situation in which they are used.

Refer to Important Maintenance Advice below regarding what a property owner can do to help reduce risk of Timber Pest attack.

NOTE: IMPORTANT LIMITATIONS FOR SAFE AND REASONABLE ACCESS:

Only areas where reasonable access was available were inspected. AS 4349.3 defines reasonable access and states that access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

ROOF VOID - the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl;

ROOF EXTERIOR - must be accessible by a 3.6M ladder placed safely on the ground.

SUBFLOOR - Access is normally not available where dimensions are less than 500mm x 400mm for the access hole and less than 400mm of crawl space beneath the lowest bearer, or, less than 500mm beneath the lowest part of any concrete floor;

The inspector shall determine whether sufficient space is available to allow safe access to confined areas.

FOIL INSULATION

As inspection of the roof void was not possible or limited, areas obstructed by insulation are excluded from this inspection and report. Please note since an inspection of the area was not possible, defects and/or termite activity/damage may exist in these areas. A full inspection of the roof void would not be possible unless the insulation is removed.

Foil insulation and insulation installed that covers the ceiling floor structural elements and/or electrical fittings constitutes a potential health and safety risk as it constitutes a physical access, or fires risk and we strongly recommend inspection by a licensed electrician.

Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods. The inspector shall determine whether sufficient space is available to allow safe access to confined areas.

NOTE: TERMITES

Where the evidence of live termites or termite damage or termite workings (mudding) was found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings is high to extremely high.

Where evidence of termite activity was found in the grounds then the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s) then the risk of a further attack is very high.

We claim no expertise in building and if any evidence or damage has been reported then You must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

VERY IMPORTANT: If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if You arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that You have a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms & Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, You must realise that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilising an alternative feeding source. Continued, regular, inspections are essential. Unless written evidence of a termite protection program in accord with "*Australian Standard 3660*" with ongoing inspections is provided, You must arrange for a treatment in accord with "*Australian Standard 3660*" to be carried out immediately to reduce the risk of further attack.

INVASIVE INSPECTION: A more thorough **INVASIVE INSPECTION** is available. Where any current visible evidence of Timber Pest activity is found it is **strongly recommended** that a more invasive inspection is performed. Trees and stumps on the property with a diameter in excess of 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that You arrange to have trees test drilled for evidence of termite nests.

WARNING: If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc. are removed.

Normally if a termite treatment has been carried out then a durable notice should be located in the meter box indicating the type of termite shield system, treated zone or combination has been installed.

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases You should arrange for a treatment in accord with "*Australian Standard 3660*" be carried out to reduce the risk of further attack.

NOTE: BORERS

Lyctus brunneus (powder post beetle) is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, You should have a building expert investigate if any timber replacement is required.

Anobium punctatum (furniture beetle) and *Calymnaderus incisus* (Queensland pine beetle) must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain and the treatment may need to be carried out each year for up to three years.

We claim no expertise in building and if any evidence or damage has been reported then You must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

Borer activity is usually determined by the presence of exit holes and/or frass. Since a delay exists between the time of initial infestation and the appearance of these signs, it is possible that some borer activity may exist that is not discernible at the time of inspection.

BORER RECOMMENDATIONS: Replacement of all susceptible timbers is always preferred since, in the event of selling the property in the future it is probable that an inspector will report the borers as active (see above). A chemical treatment to control and/or protect against Furniture beetle and/or Queensland pine beetle can be considered as a less effective, lower cost option. Before considering this option You should consult with a builder (See Terms & Limitations) to determine if the timbers are structurally sound. Following the initial treatment a further inspection is essential in twelve months' time to determine if further treatment is needed. Treatments over a number of consecutive years may be required.

NOTE: FUNGAL DECAY

We claim no expertise in building and if any evidence of fungal decay or damage has been reported then You should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

NOTE: MOISTURE

High moisture readings can be caused by any one of the following: poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. High moisture levels also increase the likelihood of termite attack and may also be conducive to borer activity and wood decay.

If high moisture was reported then You must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

Refer to Important Maintenance Advice below regarding what a property owner can do to help reduce risk of Timber Pest attack.

WATER LEAKS: especially in or into the subfloor or against the external walls e.g. leaking taps, water tanks, leaking roofs or down pipes and or guttering, increases the likelihood of termite attack. Leaking showers or leaks from other wet areas also increase the likelihood of concealed termite attack. These conditions are also conducive to borer activity and wood decay.

We claim no expertise in building and if any leaks were reported then You must have a plumber or other building expert determine the full extent of damage and the estimated cost of repairs.

Hot water services, air conditioning units which release water alongside or near to building walls need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites.

We claim no expertise in building and if any leaks were reported then You must have a plumber or other building expert determine the full extent of damage and the estimated cost of repairs.

WATER TANKS: Water tanks are required to be installed in new homes in some states and many homes have had them retroactively installed as a conservation measure. Tanks which release water alongside or near to building walls need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites.

MOISTURE: High moisture readings can be caused by any one of the following: poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. High moisture levels also increase the likelihood of termite attack and may also be conducive to borer activity and wood decay.

If high moisture was reported then You must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

DRAINAGE: Poor drainage, especially in the subfloor, greatly increases the likelihood of wood decay and termite attack.

Where drainage is considered inadequate a plumber, builder or other building expert must be consulted.

VENTILATION: Ventilation, particularly in the sub-floor region is important in minimising the opportunity for Timber Pests to establish themselves within a property.

MOULD: Mould on walls and ceilings etc.; is an indicator of high moisture or very poor ventilation. If reported You need to have the reason investigated by a builder or an Industry Hygienist as its presence may indicate the presence of a water leak, wood decay or termites behind the wall or ceiling sheeting.

SLAB EDGE EXPOSURE: Where external concrete slab edges are not exposed there is a high risk of concealed termite entry. In some buildings built since July 1995 the edge of the slab forms part of the termite shield system. In these buildings an inspection zone of at least 75mm should be maintained to permit detection of termite entry. The concrete edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf or landscaping etc. Where this is the case You should arrange to have the slab edge exposed for inspection. Concealed termite entry may already be taking place but could not be detected at the time of the inspection. This may have resulted in concealed timber damage.

NOTE: A very high proportion of termite attacks are over the edge of both Infill and other concrete slabs types. Covering the edge of a concrete slab makes concealed termite entry easy. Infill slab type construction has an even higher risk of concealed termite ingress as the slab edge is concealed due to the construction design and cannot be exposed. The type of slab may only be determined by assessment of the construction plans by a qualified person e.g. Builder, Architect. Construction Plans may be obtainable by your conveyancer. Termite activity and or damage may be present in concealed timbers of the building. We strongly recommend frequent regular inspections in accordance with AS 3660.2. Where the slab edge is not fully exposed or the slab is an infill slab or the slab type cannot be determined then we strongly recommend inspections every 3 to 6 months in accordance with AS 3660.2.

INFILL SLAB: A slab on the ground cast between walls. Other slabs should be in accordance with AS 2870 - 1996 and AS 3660.1-2000.

WEEP HOLES IN EXTERNAL WALLS: It is very important that soil, lawn, concrete paths or pavers do not cover the weep holes. Sometimes they have been covered during the rendering of the brick work. They should be clean and free flowing. Covering the weep holes in part or in whole may allow undetected termite entry.

TERMITE SHIELDS (ANT CAPS) should be in good order and condition so termite workings are exposed and visible. This helps stop termites gaining undetected entry. Joins in the shielding should have been soldered during the installation. Whenever it is observed that the joins in the shielding have not been soldered then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation.

If considered inadequate a builder or other building expert should be consulted.

In relying upon this report you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pest attack. This information forms an integral part of the report.

DEFINITIONS:

For the purpose of this inspection, the definitions below apply;

Active - The presence of live timber pests at the time of inspection.

Inactive - The absence of live timber pests at the time of inspection.

Note: Where visual evidence of inactive termite workings and/or damage is located, it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without the benefit of further investigation and inspections over a period of time, to ascertain whether any infestation is active or inactive. Continued, regular inspections are essential.

Minor - Damage that is surface damage only and does not appear to require any timber replacement or repairs to be carried out.

Moderate - Damage that is more than surface damage but is unlikely to necessitate any timber replacement or repairs to be carried out.

Severe - Damage that appears to be significant and the integrity or serviceability of timbers may be impaired. A builder's opinion must be sought in the case of severe damage.

Timber Damage - Where this report includes comments in relation to the severity of timber damage, it must be understood that this is not a qualified builder's opinion. It is essential that any timber damage be referred to a suitably qualified building professional and obtain a special purpose building report relating to the extent of the timber damage. The full extent of damage may only be revealed by invasive inspection methods including probing and the removal of lining materials. This type of invasive inspection has not been carried out and you should understand that the extent and/or severity of timber damage may be found to increase significantly on such an invasive inspection. The references contained within this report that may refer to the extent of timber damage have only been included to assist in determining treatment specifications and not to quantify the damage and must not be relied upon to determine the costs of repair or replacement.

A More Invasive Physical Inspection Is Available And Recommended

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting: insulation, stored items, furniture or foliage during the inspection. We WILL physically touch, tap, test and when necessary force/gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days' notice. Inspection time for this style of report will be greater than for a VISUAL INSPECTION. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. A price is available on request.

Important Maintenance Advice regarding Integrated Pest Management (IPM) for Protecting against Timber Pests

Any structure can be attacked by Timber Pests. Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of the concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, etc.; form-work timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests. Any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavour to ensure such conditions DO NOT occur around your property.

We further advise that you engage a professional pest control firm to provide a suitable termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises when a complete termite management system is installed in accordance with AS 3660.1-2000 for pre-construction termite work or 3660.2-2000 for post-construction termite work and the Australian Pesticides and Veterinary Medicines Authority (APVMA) product label directions are followed precisely, termites may still bridge the management system. However, if the labels directions are followed and the Standard adhered to, and bridging occurs, evidence of the termite ingress will normally be evident to the inspector. Therefore regular inspections in line with the recommendations in this report are essential in addition to any suitable termite management system you install.

You should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

CONCRETE SLAB HOMES:

Homes constructed on concrete slabs pose special problems with respect to termite attack. If the edge of the slab is concealed by concrete paths, patios, pavers, garden beds, lawns, foliage, etc. then it is possible for termites to affect concealed entry into the property. They can then cause extensive damage to concealed framing timbers. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings. Only when the termites attack timbers in the roof void, which may in turn be concealed by insulation, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers will be extensively damaged. With a concrete slab home it is imperative that you expose the edge of the slab and ensure that foliage and garden beds do not cover the slab edge. Weep holes must be kept free of obstructions. It is strongly recommended that you have a termite inspection in accordance with AS 3660.2 carried out as recommended in this report.

SUBTERRANEAN TERMITES:

No property is safe from termites! Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forestry shows 1 in every 5 homes is attacked by termites at some stage in its life. More recent data would indicate that this is now as high as 1 in every 3. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world. In fact it can take "as little as 3 months for a termite colony to severely damage almost all the timber in a home".

How Termites Attack your Home. The most destructive species live in large underground nests containing several million timber destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres to enter your home, where there is a smorgasbord of timber to feast upon. Even concrete slabs do not act as a barrier; they

can penetrate through cracks in the slab to gain access to your home. They even build mud tubes to gain access to above ground timbers. In rare cases termites may create their nest in the cavity wall of the property without making ground contact. In these cases it may be impossible to determine their presence until extensive timber damage occurs.

Termite Damage; Once in contact with the timber they excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and cost two to five thousand dollars (or more) to treat.

Subterranean Termite Ecology: These termites are social insects usually living in underground nests. Nests may be in trees or in rare instances they may be in above ground areas within the property. They tunnel underground to enter the building and then remain hidden within the timber making it very difficult to locate them. Where timbers are concealed, as in most modern homes, it makes it even more difficult to locate their presence. Especially if gardens have been built up around the home and termite barriers are either not in place or poorly maintained. Termites form nests in all sorts of locations and they are usually not visible. There may be more than one nest on a property. The diet of termites in the natural environment is the various hardwood and softwood species growing throughout Australia. These same timbers are used in buildings. Worker termites move out from their underground nest into surrounding areas where they obtain food and return to nurture the other casts of termites within the nest. Termites are extremely sensitive to temperature, humidity and light and hence cannot move over ground like most insects. They travel in mud encrusted tunnels to the source of food. Detection of termites is usually by locating these mud tunnels rising from the ground into the affected structure. This takes an expert eye.

Termite barriers protect a building by forcing termites to show themselves. Termites can build mud tunnels around termite barriers to reach the timber above. The presence of termite tracks or leads does not necessarily mean that termites have entered the timber though. A clear view of walls and piers and easy access to the sub-floor means that detection should be fairly easy. However many styles of construction do not lend themselves to ready detection of termites. The design of some properties is such that they make the detection by a pest inspector difficult, if not impossible.

The tapping and probing of walls and internal timbers is an adjunct or additional means of detection of termites but is not as reliable as locating tracks. The use of a moisture meter is a useful aid for determining the presence of termites concealed behind thin wall panels, but it only detects high levels of activity. Older damage that has dried out will not be recorded. It may also provide false readings. Termite tracks may be present in the ceiling space however some roofs of a low pitch and with the presence of sisalation, insulation, air conditioning ductwork and hot water services may prevent a full inspection of the timbers in these areas. Therefore since foolproof and absolute certain detection is not possible the use of protective barriers and regular inspections is a necessary step in protecting timbers from termite attack.

BORERS OF SEASONED TIMBERS:

Borers are the larvae of various species of beetles. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae (grubs) which bore through the timber and can cause significant structural damage. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle which cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes, and the frass formed when the beetles cut the exit holes that their presence can be detected. Where floors are covered by carpets, tiling, or other floor coverings and where no access to the underfloor area is available it is not possible to determine whether borers are present or not. This is particularly the case with the upper floors of a dwelling.

Borers of green unseasoned timber may also be present. However these species will naturally die out as the timbers dry out in service. Whilst some emergence holes may occur in a new property it would be unusual for such a borer to cause structural damage, though the exit holes may be unsightly.

Anobium borer (furniture beetle) and Queensland pine borer: These beetles are responsible for instances of flooring collapse, often triggered by a heavy object being placed on the floor (or a person stepping on the affected area!) Pine timbers are favoured by this beetle and, while the sapwood is preferred, the heartwood is sometimes attacked. Attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall panelling. The *frass* from the flight holes (faeces and chewed wood) is fine and gritty. Wood attacked by these borers is often honeycombed.

Lyctus borer (powder post beetle): These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that structural timbers contain no more than 25% Lyctus susceptible sapwood these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved. Where decorative timbers are affected the emergence holes may be considered unsightly in which case timber replacement is the only option. Powder post beetles mostly attack during the first 6-12 months of service life of timber. As only the sapwood is destroyed, larger dimensional timbers (such as rafters, bearers and joists) in a house are seldom weakened significantly to cause collapse. In small dimensional timbers (such as tiling and ceiling battens) the sapwood may be extensive, and its destruction may result in collapse. Replacement of these timbers is the only option available.

TIMBER DECAY FUNGI:

The fruiting bodies of wood decay fungi vary in size, shape and colour. The type of fungi encountered by pest controllers usually reside in poorly ventilated subfloors, below wet areas of the home, exterior timbers and in areas that retain water in the soil. The durability and type of timbers are factors along with the temperature and environment. Destruction of affected timbers varies with the symptoms involved. Removal of the moisture source usually alleviates the problem. Fungal decay is attractive to termites and if the problem is not rectified it may well lead to future termite attack.

Important Information:

Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the Scope and Limitations of the inspection form an integral part of the report.

1. VISUAL INSPECTION ONLY:

This is a visual inspection only in accord with the requirements of AS 4349.3 Inspection of buildings Part 3: Timber pest inspections. Visual inspection was limited to those areas and sections of the property to which reasonable access (See Definition) was both available and permitted on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests which may only be revealed when the items are moved or removed. In the case of Strata type properties only the interior of the unit is inspected.

2. SCOPE OF REPORT:

This Report is confined to reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), present on the date of the Inspection. The Inspection did not cover any other pests and this Report does not comment on them. Dry wood termites (Family:

KALOTERMITIDAE) and European House Borer (*Hylotrupes badius Linnaeus*) were excluded from the Inspection, but have been reported on if, in the course of the Inspection, any visual evidence of infestation happened to be found. If *Cryptotermes brevis* (West Indian Dry Wood Termite) or *Hylotrupes badius Linnaeus* are discovered we are required by law to notify Government Authorities. If reported a special purpose report may be necessary.

3. LIMITATIONS:

Nothing contained in the Report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the Inspector on the date of the Inspection were not, or have not been, infested by Timber Pests. Accordingly this Report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of Timber Pests will not occur or be found.

4. DETERMINING Extent of damage:

The Report is NOT a structural damage Report. We claim no expertise in building and any observations or recommendations about timber damage should not be taken as expert opinion and CANNOT be relied upon. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported either in the structure(s) or the grounds of the property, then You must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation is removed to reveal previously concealed timbers. An invasive Timber Pest Inspection (for which a separate contract is required) is strongly recommended and You should arrange for a qualified person such as a Builder, Engineer, or Architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that neither We nor the individual conducting the Inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.

5. MOULD:

Mildew and non-wood decay fungi are commonly known as Mould and is not considered a Timber Pest but may be an indicator of poor ventilation or the presence of termites, wood decay or water leaks. Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people.

6. DISCLAIMER OF LIABILITY:

No liability shall be accepted on account of failure of the Report to notify any Termite activity and/or damage present at or prior to the date of the Report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Licensed Inspector (including but not limited to any area(s) or section(s) so specified by the Report).

7. DISCLAIMER OF LIABILITY TO THIRD PARTIES:

Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

Note: In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

8. COMPLAINTS PROCEDURE:

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

NSW Building Compliance Report

This compliance report is based on a thorough and careful visual inspection of accessible areas of the property and building file documents. This information is current at the date of inspection only. This compliance report is provided to determine the possible presence of unapproved works. This is purely a comparison of the property with the plans and documentation available for viewing at Eurobodalla Shire Council offices. This compliance report is not intended as a certificate of compliance of the property within the requirements of any Act, Regulation, Ordinance, or By-law and does not include assessment of plumbing and electrical works.

Address: 10 Smith Street, Smithtown

As requested, an inspection of the Eurobodalla Shire Council records was carried out for **Lot 000 DP11111 of Smithtown** on 28.01.16 . The information below is based on documentation viewed at Smithtown Shire Council.

Building File Detail

Building Application No.	Date	Building Permit Issued No.	Date	Final Issued	Date	Description of Works
224/71	10/06/71	224/71	17/06/71	Not Issued	-	Dwelling & workshop
715/77	04/11/77	705/77	25/11/77	Yes	04/08/81	Garage
845/81	03/09/81	845/81	28/09/81	Yes	29/06/92	Additions & Alterations (Carport, Bathroom, Enclosed decks & Sewing Room)
1180/91	07/11/91	1180/91	26/11/91	Yes	29/06/92	Additions & Alterations (Laundry)

Photo Portfolio



Summary:

Generally the structures on the property are approved by council. There are a few discrepancies and these are noted below.

The original dwelling was approved for construction and a building permit was issued. A frame inspection was completed for the original dwelling on 16th April 1973; however there is no record of a final inspection.

The studio/workshop to the rear of the property is approved as a workshop only and is not approved for occupation.

Sections of walls appear to have been removed to create open access to the eastern enclosed verandah (utility room). As these are structural changes approval should be obtained.

The bathroom area has been modified and approval should be obtained.

The carport has been enclosed and this enclosure is not approved and approval should be obtained.

The ramps to the rear of the dwelling do not require approval.

The pergola/verandah structure to the rear of the dwelling does not require approval.

The deck to the studio/workshop does not require approval.

The installation of a new kitchen does not require approval.



Bruce Cohen
Building Consultant
1300 767 741